

GENERAL NOTES

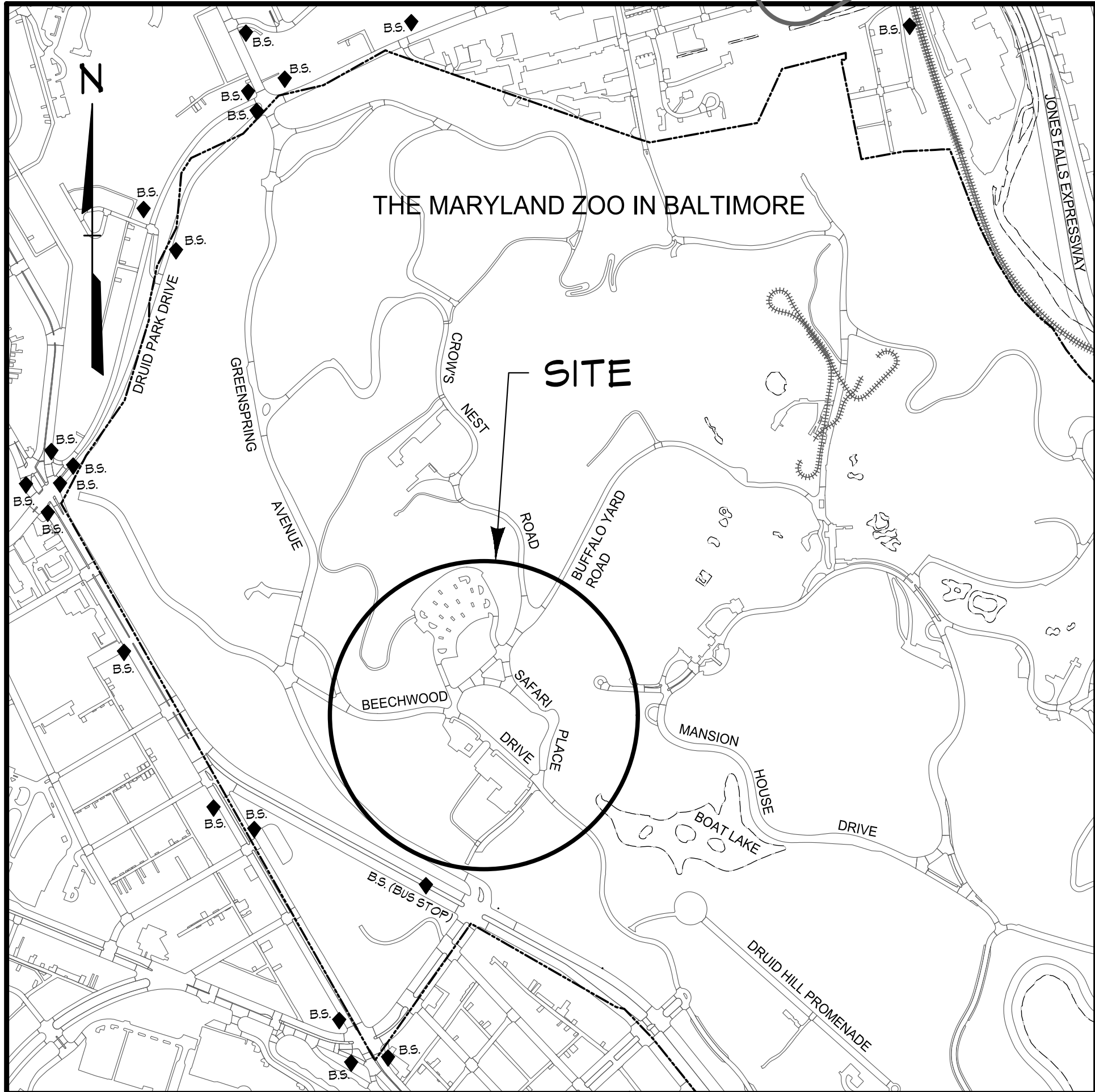
1. Unless otherwise noted, all construction shall be in accordance with the latest City of Baltimore Department of Public Works Specifications and Standard Details.
2. Existing features and utilities shown have been based upon surveys and other sources believed to be reliable. The correctness or completeness of the information shown is not guaranteed. The contractor shall verify all information before commencing work.
3. The contractor shall notify Miss Utility at 1-800-257-7777 a minimum of five working days prior to construction.
4. The contractor shall maintain, repair, and/or replace any existing sediment control devices encountered and disturbed during the course of construction. At the end of each day, all measures and devices shall be repaired or replaced before leaving the work site.
5. Construction shall follow the Sequence of Construction on the approved Erosion and Sediment Control drawings.
6. The contractor shall obtain all necessary permits and inspections.
7. The contractor shall maintain traffic at all times, if applicable.
8. Numerically written dimensions shall take precedence over scaled dimensions.
9. Unless otherwise noted, dimensions from curb are measured at face of curb.
10. All grading and excavation shall be performed in accordance with the geotechnical engineer's report and inspected by a geotechnical engineer.
11. The contractor shall provide a minimum two-foot wide area at 1/2-inch per foot positive slope behind all proposed curb, unless otherwise indicated.
12. Finished grades shall fall away from existing and proposed buildings at a 1/4-inch per foot for vegetated areas and a minimum of 1/8-inch per foot for paved areas, unless otherwise indicated.
13. Construction of subgrade, underdrains, and paving shall be inspected and approved by the geotechnical engineer.
14. The contractor shall determine the exact location and depth of all existing utilities, as necessary. Report any discrepancies from the plans to Century Engineering, LLC. All utilities shall be retained unless labeled otherwise. The contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finished grades within the limits of work. Damage to existing conditions and utilities shall be repaired to the owner's satisfaction at the expense of the contractor.
15. Existing utilities which are not to be removed or abandoned shall remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational, unless otherwise noted.
16. The contractor shall coordinate the location of all water, sewer and drain connections with the latest plumbing drawings.
17. The contractor shall maintain 2.0 feet minimum cover over all utilities during construction.
18. Unless otherwise noted, all utility connections shall be capped or plugged five feet from buildings.
19. Prior to construction, the plumbing and/or sprinkler consultant shall have determined the adequacy of water supply.
20. Unless otherwise noted, all proposed water lines shall have four feet minimum cover, 0.5 feet minimum vertical clearance from all storm drain lines, and 1.0 feet minimum vertical clearance above sanitary sewer lines.
21. Restrained joints shall be Griffin, Clow, TR Flex Joints or approved equal.
22. All fire mains shall be installed in accordance with the latest NFPA, 24.
23. The center of all fire hydrants shall be placed 2 ft. behind face of curb or as dimensioned on the plan.
24. Valves on fire hydrant leads will be tied to the main line tee or outlet with two 3/4" diameter threaded steel rods and nuts as directed by the Engineer.
25. The contractor shall discharge chlorinated flush water into an operational sanitary sewer manhole.
26. Electric, telephone, gas, cable, lighting, and retaining walls to be designed by others. Where those facilities are shown, they are for coordination purposes only.
27. The contractor shall be responsible for any work not specifically mentioned on the plans which normally would be required to complete the project.
28. The contractor shall verify horizontal and vertical datum with the surveyor of record before starting work.
29. In most circumstances, the contractor shall construct gravity utility lines first.
30. All handicap ramps shall be constructed in accordance with latest version of the American with Disabilities Act design standards, COMAR regulations, and/or local jurisdiction standards - whichever is more restrictive.
31. Only Baltimore City personnel shall operate public water valves. The contractor shall notify the Baltimore City Inspector to arrange a shutdown.
32. The contractor shall connect the on-site water to the water meter. If the water meter is not in place at the time of installation of the on-site water main, the contractor shall delay installation of the on-site water main within 90 feet of the water meter vault. The contractor shall return to complete the on-site water meter main and connection to the water meter after the meter is installed by others.

THE MARYLAND ZOO IN BALTIMORE
PARKING LOT REHABILITATION
BALTIMORE CITY, MARYLAND
CEI PROJECT # 201069.00
CONSTRUCTION DRAWINGS
ESD # 7969

NOT FOR CONSTRUCTION

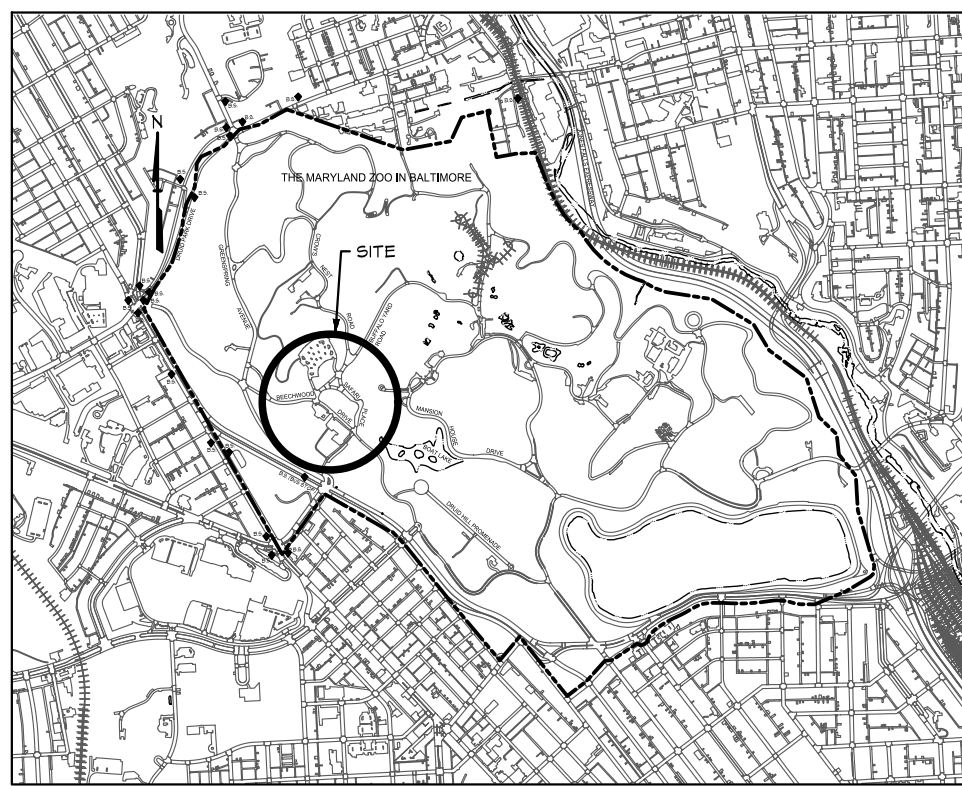
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VICINITY MAP

SCALE: 1"=500'



LOCATION MAP

SCALE: 1"=2000'

SITE DATA:

1. ADDRESS: 2700 Madison Avenue
Baltimore, MD 21205
2. ZONING: OS
This project requires a Conditional Use Ordinance from the Mayor and City Council for accessory use.
3. PARCEL AREA: 92409.848.40± s.f. (743.89± Ac.)
4. BUILDING CODE TYPE: N/A
5. BUILDING USE GROUP: EXEMPT COMMERCIAL
6. SETBACKS:
PERMITTED: None required per BA-113
PROVIDED: N/A
7. BUILDING USES, FLOOR AREAS AND HEIGHTS:
PERMITTED: N/A
PROPOSED: N/A
8. PARKING TABULATION: Scope of project is rehabilitation of existing parking lots
EXISTING PARKING:
Lot A parking spaces to be removed = 174
Lot B parking spaces to be removed = 41
Lot C parking spaces to remain = 241
Lot D parking spaces to be removed = 21*
*All existing parking spaces in Lot D are ADA accessible.

PROPOSED PARKING PROVIDED:

- Lion Circle parking spaces provided = 53
Llama Circle parking spaces provided = 97
Elephant Circle parking spaces provided = 64
Turtle Circle parking spaces provided = 74
ADA Parking Lot parking spaces provided = 16
Total provided parking spaces = 243 P.S.

ADA ACCESSIBLE PARKING SPACES REQUIRED:

- 1 ADA P.S. per 25 P.S. = 13 P.S.
Total required ADA parking spaces = 13 ADA P.S.
1 van ADA P.S. per 6 ADA P.S. = 3 P.S.
Total required ADA van accessible parking spaces = 3 P.S.

PROPOSED ADA ACCESSIBLE PARKING SPACES PROVIDED:

- Llama Circle parking spaces provided = 2
Elephant Circle parking spaces provided = 4
ADA Parking Lot parking spaces provided = 16
Total provided ADA parking spaces: 22
Total provided ADA van accessible parking spaces: 4

BICYCLE PARKING SPACES REQUIRED: N/A

BICYCLE PARKING SPACES PROVIDED:

- 38 (3 Cargo, 4 Charging Stations, 31 Standard) and 1 Maintenance stand.

LOADING SPACES REQUIRED: None

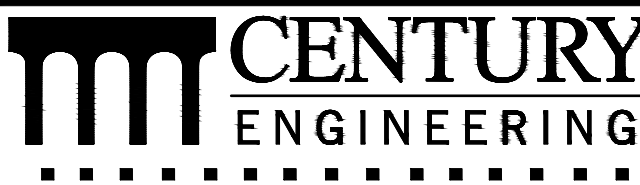
LOADING SPACES PROVIDED: None

9. Garbage removal and pickup will be coordinated and scheduled by the owner.
10. The site is not located within the 500-year flood plain zone.
11. Stormwater management is required and will be provided by means of an underground facility (Stormpod), for 100 year Quantity Management, 4 micro-bio retention facilities and a surface sand-filter for Water Quality/ESD.

DATA SOURCES

1. Existing topography and structures shown hereon outside of the limits of field run topography are from the Baltimore City Office of Technology - GIS Lab.
2. Existing topography from field run survey by Century Engineering Inc. dated Aug-Sept. 2020
3. Coordinates 4 elevations are referred to the Baltimore City Survey Control System and are tied to the following control stations:
35000 N 7463.820 E -9323.550 Elev. 301.060
35001 N 8240.140 E -9800.600 Elev. 924.640
4. Public utilities shown hereon are from public drawings, field location and other sources.

DATE	BY	REVISIONS



A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

COVER SHEET

THE MARYLAND ZOO
IN BALTIMORE
PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 32574
EXPIRATION DATE: 1/16/2024



OWNER:
Mayor & City Council of Baltimore
One Calvert Plaza
201 E. Baltimore Street
Baltimore MD 21202
(410)-675-3651

DEVELOPER:
The Maryland Zoo in Baltimore
1876 Mansion House Drive
Baltimore MD 21217
C/O Karl Kranz
(410)-346-7102

DRAWN BY: AA	DESIGN BY: DRS/KRB	REVIEW BY: AJD
SCALE: AS SHOWN	PROJECT No.: 201069.00	DRAWING: C-001

ESD # 7969

ENVIRONMENTAL NOTES	
Is the site subject to Stormwater Management Review?	Yes, disturbance of more than 5,000 sq. ft.
Is the Site Subject to Forest Conservation?	Yes, the developed lot area is more than 20,000 sq.ft.
Is the site located with a flood plain?	The site is not located within a 500 year flood plain
Is the site located in the Critical Area? If so, is it within the 100' or 1000' buffer area?	The site is not located within Critical Area buffer.
Proposed Stormwater Management Facility On-site?	Yes, underground SWM Facility (Stormpod), 4 Micro Bio-Retention facilities and 1 underground Sand-Filter

FOREST CONSERVATION NOTES

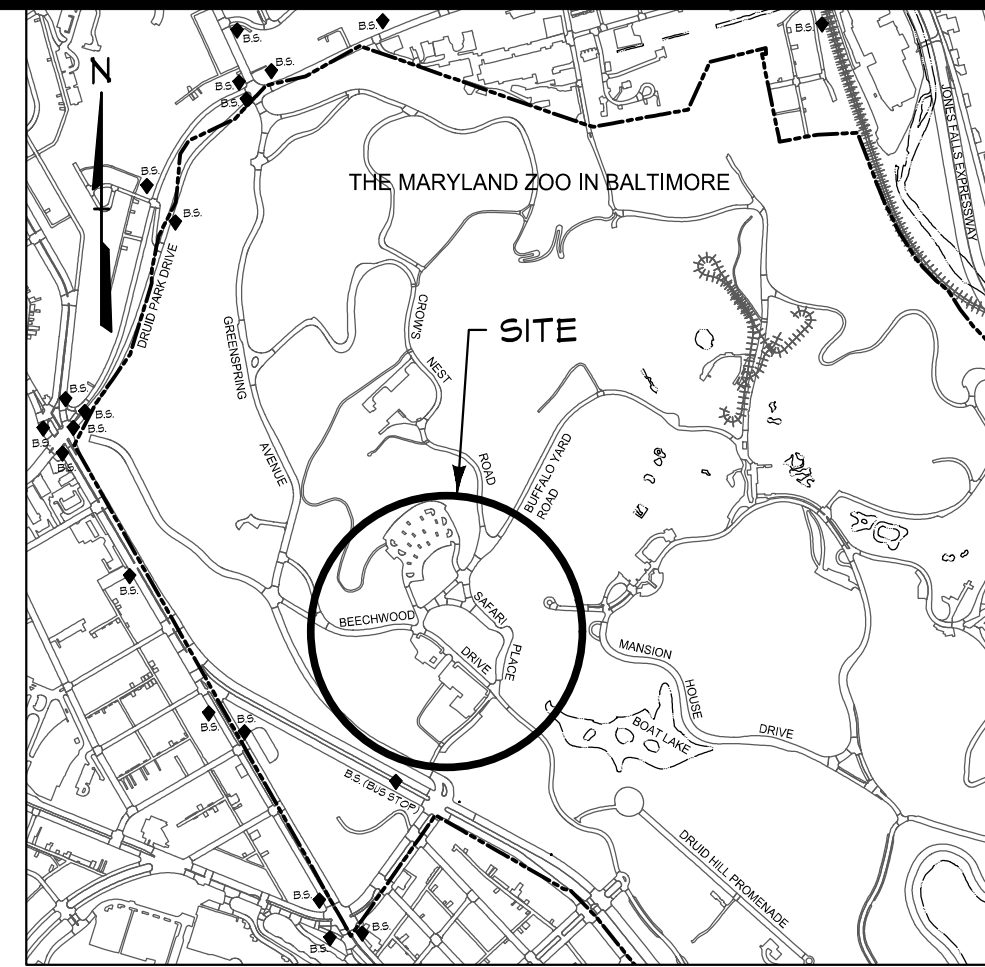
- A simplified Forest Stand Delineation will be required
- There are no Forested Areas within the project area
- A 1:1 caliper mitigation is required for the removed of all public trees 6" and above
- Coordinate with Amy Gilder-Busatti in the Office of Sustainability (410)-346-4369

T:\2020\Facilities\20106400 MD Zoo Parking\Drawings\Construction\20106400 (C-010) Existing Conditions Plan 1.dwg Jul 18, 2022 1:15pm dahanan

MATCHLINE - SEE SHEET C-011



PLAN
SCALE: 1"=30'



VICINITY MAP
SCALE: 1"=1000'

LEGEND

---	Existing Minor Contour
---	Existing Major Contour
---	Existing Edge of Road
---	Existing Soil Lines
---	Existing Storm Drain
---	Existing Storm Drain Inlet
---	Existing Storm Drain Manhole
---	Existing Water
---	Existing Water Valve
---	Existing Sewer
---	Existing Gas Line
---	Existing Underground Electric Line
---	Existing Curb and Gutter
---	Existing Retaining Wall
---	Existing Edge of Paving
---	Existing Sidewalk
---	Existing Tree Line
---	Existing Building/Structure
---	Water Edge or Stream Centerline
---	Existing Fence
---	Existing Pavement
---	Existing Sign
---	Existing Light
---	Existing Bollard
---	Existing Deciduous Trees *
---	Existing Conifer Trees *
---	* Dimensions shown are tree Breast Height Caliper
---	Existing Rip Rap

NOTES:

1. THERE ARE NO WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS OR THEIR REQUIRED BUFFERS ON SITE.
2. THERE ARE NO STREAMS, RIVERS, CREEKS, BROOKS, PONDS, DETENTION BASINS, OR DRAINAGE WAYS ON SITE.
3. THERE ARE NO HIGHLY ERODIBLE SOILS, ROCK OUTCROPS OR STEEP SLOPES ON SITE.
4. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA (CBCA).
5. THERE ARE NO FORESTED AREAS ON SITE.

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DATE	BY	REVISIONS

CENTURY ENGINEERING

A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

EXISTING CONDITIONS PLAN 1

THE MARYLAND ZOO IN BALTIMORE PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL CERTIFICATION

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DRAWN BY: AA	DESIGN BY: DRS/KRB	REVIEW BY: AJD
SCALE: 1"=30'	DRAWING: C-010	PROJECT No: 201069.00

ESD # 7969

T:\2020\Facilities\20106400 MD Zoo Parking\Drawings\Construction\20106400 (C-011) Existing Conditions Plan 2.dwg Jul 18, 2022 1:11pm dhananan



LEGEND

	Existing Minor Contour
	Existing Major Contour
	Existing Edge of Road
	Existing Storm Drain
	Existing Storm Drain Inlet
	Existing Storm Drain Manhole
	Existing Water
	Existing Water Valve
	Existing Sewer
	Existing Gas Line
	Existing Underground Electric Line
	Existing Curb and Gutter
	Existing Retaining Wall
	Existing Edge of Paving
	Existing Sidewalk
	Existing Tree Line
	Existing Building/Structure
	Water Edge or Stream Centerline
	Existing Fence
	Existing Pavement
	Existing Sign
	Existing Light
	Existing Bollard
	Existing Deciduous Trees *
	Existing Conifer Trees *
	* Dimensions shown are tree Breast Height Caliper
	Existing Rip Rap

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DATE	BY	REVISIONS



A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

EXISTING CONDITIONS PLAN 2

THE MARYLAND ZOO IN BALTIMORE PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

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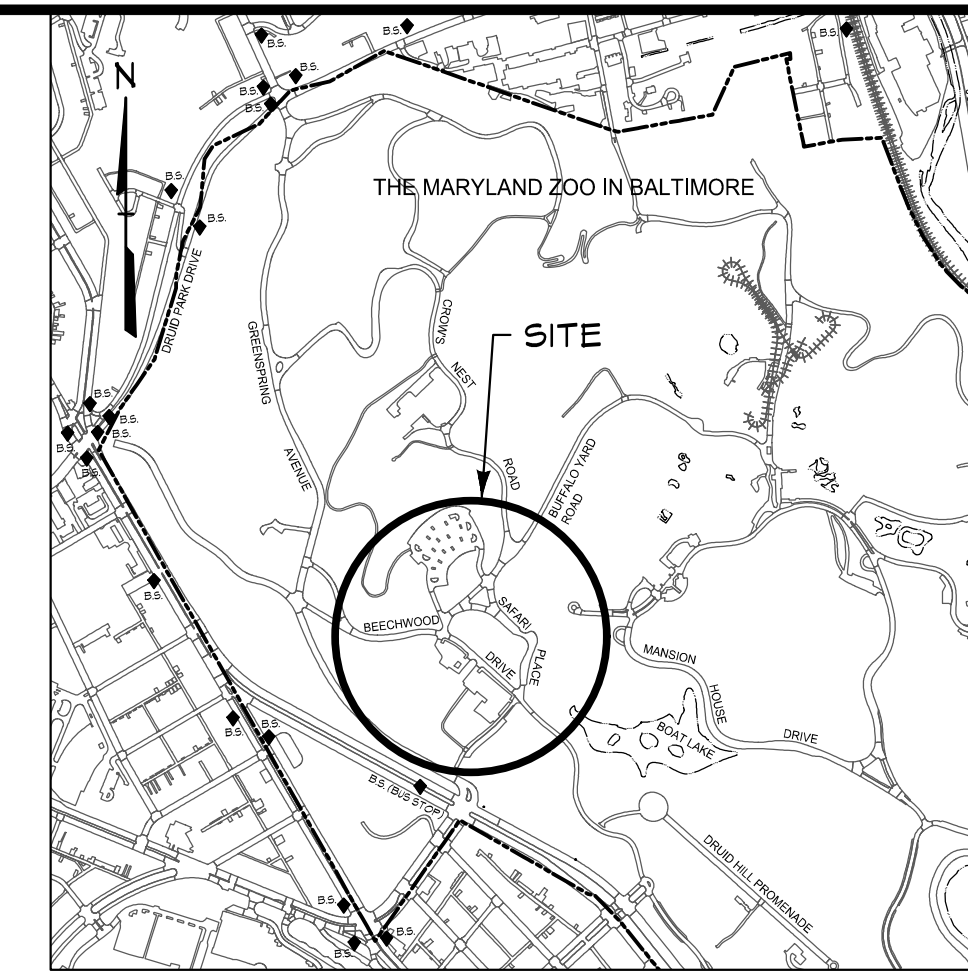
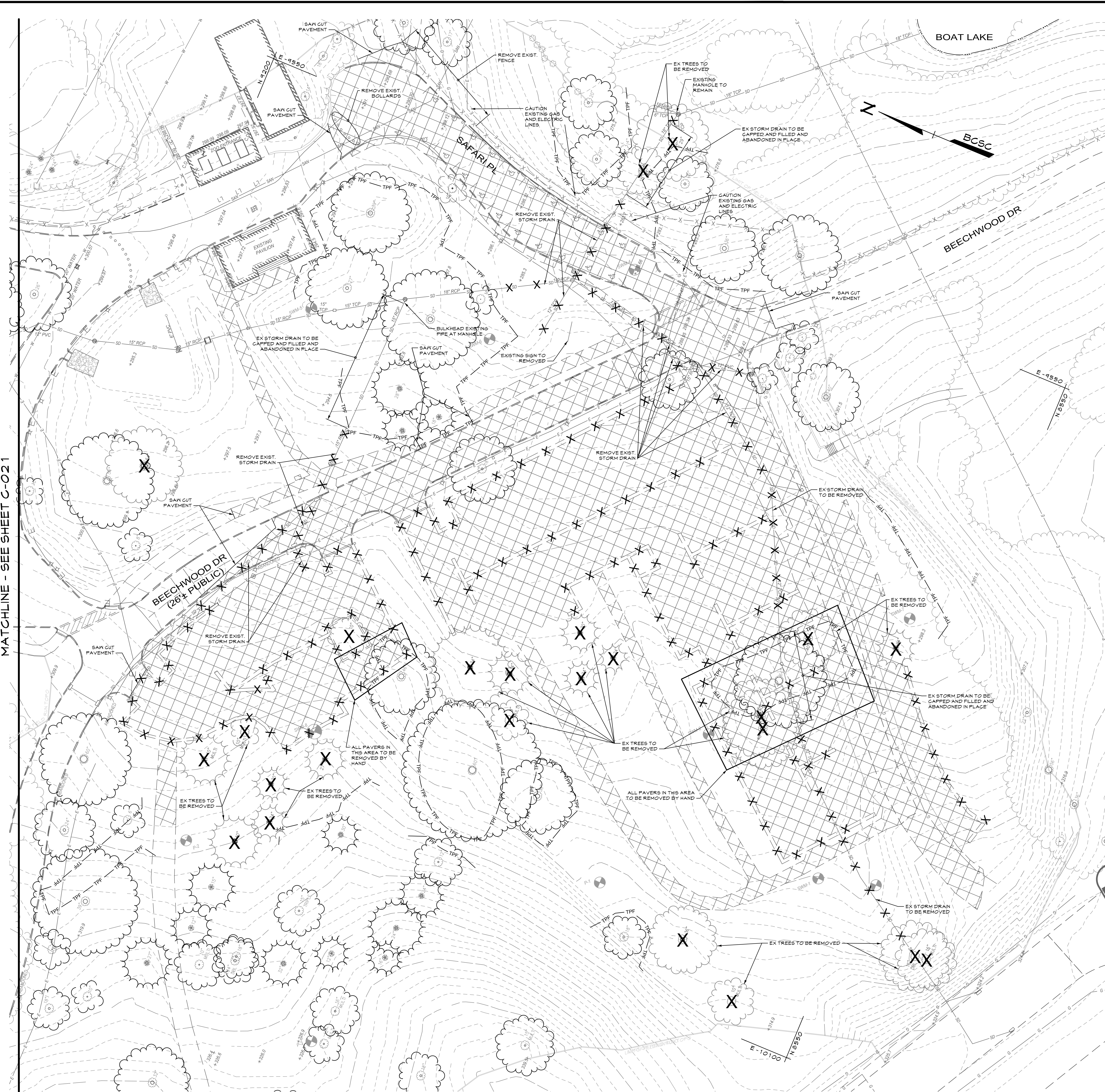
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(410)-346-7102

DESIGN BY:	AA DRS/KRB	REVIEW BY:	AJD
SCALE:	1"=30'	DRAWING:	C-011
PROJECT No:	201069.00		

T:\2020\Facilities\20106400 MD Zoo Parking\Drawings\Construction\20106400 (C-020) Demolition Plan 1.dwg Jul 18, 2022 1:11pm dahanan

MATCHLINE - SEE SHEET C-021



VICINITY MAP
SCALE: 1"=1000'

LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Soils
- Existing Storm Drain
- Existing Storm Drain Inlet
- Existing Storm Drain Manhole
- Existing Water
- Existing Water Valve
- Existing Sewer
- Existing Gas Line
- Existing Underground Electric Line
- Existing Curb and Gutter
- Existing Retaining Wall
- Existing Edge of Paving
- Existing Sidewalk
- Existing Tree Line
- Existing Building/Structure
- Water Edge or Stream Centerline
- Existing Fence
- Existing Pavement
- Existing Sign
- Existing Light
- Existing Bollard
- Existing Deciduous Trees *
- Existing Conifer Trees *
- * Dimensions shown are tree Breast Height Caliper
- Existing Rip Rap
- Tree Protection Fence
- Existing Feature To Be Removed
- Existing Paving To Be Removed

NOTES:

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NOT FOR CONSTRUCTION

DATE	BY	REVISIONS

CENTURY ENGINEERING
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DEMOLITION PLAN 1

THE MARYLAND ZOO
IN BALTIMORE
PARKING LOT REHABILITATION
BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE No.: 32574 EXPIRATION DATE: 1/16/2024	
DRAWN BY: AA DESIGN BY: DRS/KRB SCALE: 1"=30' PROJECT No.: 201069.00	REVIEW BY: AJD REVIEW DATE: 7/15/2022 DRAWING: C-020

PLAN
SCALE: 1"=30'

T:\2020\Facilities\20106400 MD Zoo Parking\Drawings\Construction\20106400 (C-021) Demolition Plan 2.dwg Jul 18, 2022 1:11pm dahanan



PLAN

SCALE: 1"=30'

LEGEND

---	Existing Minor Contour
- - - -	Existing Major Contour
- - - -	Existing Edge of Road
- - - -	Existing Soils
---	Existing Storm Drain
○	Existing Storm Drain Manhole
---	Existing Water
---	Existing Water Valve
---	Existing Sewer
---	Existing Gas Line
---	Existing Underground Electric Line
---	Existing Curb and Gutter
---	Existing Retaining Wall
---	Existing Edge of Paving
---	Existing Sidewalk
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---	Existing Deciduous Trees *
---	Existing Conifer Trees *
---	* Dimensions shown are tree Breast Height Caliper
---	Existing Rip Rap

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CENTURY
ENGINEERING

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DEMOLITION PLAN 2

THE MARYLAND ZOO IN BALTIMORE PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

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DRAWN BY:	AA	REVIEW BY:	AJD
DESIGN BY:	DRS/KRB	REVIEW DATE:	7/15/2022

SCALE:	1"=30'	DRAWING:	C-021
PROJECT No:	201069.00		

NOT FOR CONSTRUCTION

0 30' 60'

OWNER:

Mayor & City Council of Baltimore
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201 E. Baltimore Street
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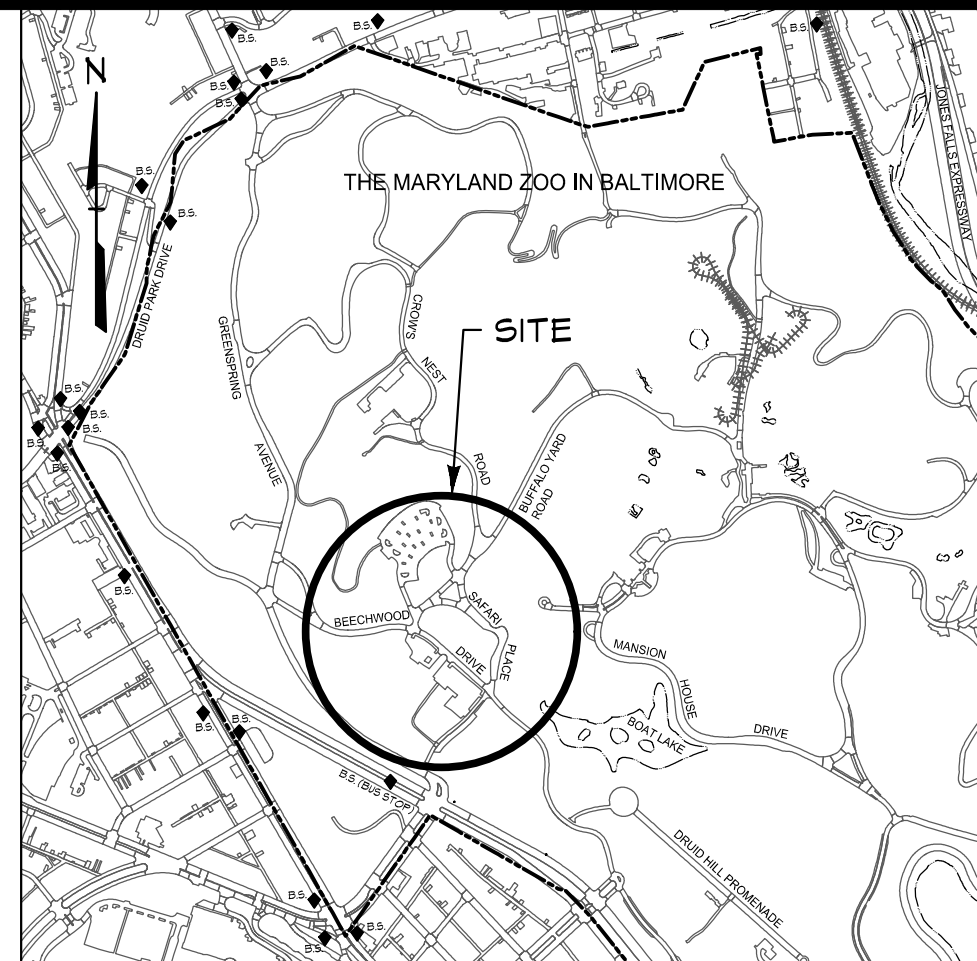
T:\2020\Facilities\20106400 MD Zoo Parking\Drawings\Construction\20106400 (C-030) Grading Plan - Aug Jul 16, 2022 1:20pm dhanan

MATCHLINE - SEE SHEET C-031



PLAN

SCALE: 1"=30'



VICINITY MAP

SCALE: 1"=1000'

LEGEND

NOTE: DUE TO THE VARIED NATURE OF EACH PLAN ALL SYMBOLS SHOWN ON LEGEND MAY NOT BE PRESENT ON ALL PLAN SHEETS.

---	675	Existing Minor Contour
---	670	Existing Major Contour
---	---	Existing Edge of Road
---	18UC (B)	Existing Soils
---	17B (B)	Existing Storm Drain
---	SD EX 15' D	Existing Water
---	W EX 12' W	Existing Sewer
---	SAN EX 8' S	Existing Gas Line
---	G EX 8' G	Existing Underground Electric Line
---	E	Existing Curb and Gutter
---	---	Existing Retaining Wall
---	---	Existing Edge of Paving
---	---	Existing Sidewalk
---	---	Existing Tree Line
---	---	Existing Building/Structure
---	---	Water Edge or Stream Centerline
---	X-X-X-X	Existing Fence
---	---	Existing Sign
---	---	Existing Light
---	---	Existing Bollard
---	---	Proposed Major Contour
---	---	Proposed Minor Contour
---	---	Proposed Inlet
---	---	Proposed Curb and Gutter
---	---	Proposed Retaining Wall
---	---	Proposed Edge of Pavement
---	---	Proposed Guardrail
---	---	Proposed Concrete Sidewalk
---	X-X-X-X	Proposed Fence
---	---	Proposed Tree Line
---	---	Proposed Underground SAN Facility
---	---	Proposed Underground Sand Filter
---	TPF TPF	Tree Protection Fence
---	---	Proposed ADA Route
---	---	Proposed ADA Parking Sign
---	---	Proposed ADA Parking Space
---	---	Proposed Bollards
---	---	Proposed Guard Shack
---	---	Proposed Pedestrian "Acorn" Type Light
---	---	Proposed Parking Lot "Cobra" Type Light
---	---	Proposed Fence
---	---	Proposed Crosswalk

NOTES:

- THIS PLAN REFLECTS FULL BUILDOUT OF ALL PROPOSED PARKING LOTS. CONSTRUCTION WILL PROCEED INCREMENTALLY DEPENDENT UPON FUNDING.
- REFER TO LANDSCAPE PLANS ON SHEETS C-070 THRU C-073 FOR PROPOSED TREE AND PLANTINGS.
- SPOT ELEVATIONS USE FLOW LINE AT FACE OF CURB IN THE PAVEMENT OR TOP OF GRATE OR INLETS, OR GROUND ELEVATION IN PERVIOUS AREAS, UNLESS NOTED OTHERWISE.

NOTES:

- THERE ARE NO WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS OR THEIR REQUIRED BUFFERS ON SITE.
- THERE ARE NO STREAMS, RIVERS, CREEKS, BROOKS, PONDS, DETENTION BASINS, OR DRAINAGE WAYS ON SITE.
- THERE ARE NO HIGHLY ERODIBLE SOILS, ROCK OUTCROPS OR STEEP SLOPES ON SITE.
- THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA (CBCA).
- THERE ARE NO FORESTED AREAS ON SITE.

DATA SOURCES

- Existing topography and structures shown hereon outside of the limits of field run topography are from the Baltimore City Office of Technology - GIS Lab.
- Existing topography from field run survey by Century Engineering Inc. dated Aug-Sept. 2020
- Spot elevations 4 elevations are referred to the Baltimore City Survey Control System and are tied to the following control stations:
35000 N 1463.820 E -9323.550 Elev. 301.060
35001 N 8240.140 E -9800.600 Elev. 324.640
- Public utilities shown hereon are from public drawings, field location and other sources.

DATE	BY	REVISIONS

CENTURY
ENGINEERING

A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

GRADING PLAN 1

THE MARYLAND ZOO
IN BALTIMORE
PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 32574
EXPIRATION DATE: 1/16/2024



OWNER:
Mayor & City Council of Baltimore
One Calvert Plaza
201 E. Baltimore Street
Baltimore MD 21202
(410)-675-3651

DEVELOPER:
The Maryland Zoo in Baltimore
1876 Mansion House Drive
Baltimore MD 21217
C/O Karl Kranz
(410)-346-1102

DRAWN BY: AA
DESIGN BY: DRS/KRB

REVIEW BY: JJD
REVIEW DATE: 7/15/2022

SCALE: 1"=30'
PROJECT No.: 201069.00

DRAWING: C-030
ESD # 7969

T:\2020\Facilities\20106400 MD Zoo Parking\Civil\CADD\Drawings\Construction\20106400 (C-031) Grading Plan 2.dwg Jul 16, 2022 1:20pm dhanalan



PLAN

SCALE: 1"=30'

LEGEND

NOTE: DUE TO THE VARIED NATURE OF EACH PLAN ALL SYMBOLS SHOWN ON LEGEND MAY NOT BE PRESENT ON ALL PLAN SHEETS.

---	676	Existing Minor Contour
---	670	Existing Major Contour
---	---	Existing Edge of Road
---	---	Existing Soils
---	---	Existing Storm Drain
---	---	Existing Water
---	---	Existing Sewer
---	---	Existing Gas Line
---	---	Existing Underground Electric Line
---	---	Existing Curb and Gutter
---	---	Existing Retaining Wall
---	---	Existing Edge of Paving
---	---	Existing Sidewalk
---	---	Existing Tree Line
---	---	Existing Building/Structure
---	---	Water Edge or Stream Centerline
---	---	Existing Fence
---	---	Existing Pavement
---	---	Existing Sign
---	---	Existing Light
---	---	Existing Bollard
---	---	Proposed Major Contour
---	---	Proposed Minor Contour
---	---	Proposed Inlet
---	---	Proposed Curb and Gutter
---	---	Proposed Retaining Wall
---	---	Proposed Edge of Pavement
---	---	Proposed Guardrail
---	---	Proposed Concrete Sidewalk
---	---	Proposed Fence
---	---	Proposed Tree Line
---	---	Proposed Underground SSM Facility
---	---	Proposed Underground Sand Filter
---	---	Tree Protection Fence
---	---	Proposed ADA Route
---	---	Proposed ADA Parking Sign
---	---	Proposed ADA Parking Space
---	---	Proposed Bollards
---	---	Proposed Guard Shack
---	---	Proposed Pedestrian "Acorn" Type Light
---	---	Proposed Parking Lot "Cobra" Type Light
---	---	Proposed Fence
---	---	Proposed Crosswalk

NOTES:

1. THERE ARE NO WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS OR THEIR REQUIRED BUFFERS ON SITE.
2. THERE ARE NO STREAMS, RIVERS, CREEKS, BROOKS, PONDS, DETENTION BASINS, OR DRAINAGE WAYS ON SITE.
3. THERE ARE NO HIGHLY ERODIBLE SOILS, ROCK OUTCROPS OR STEEP SLOPES ON SITE.
4. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA (CBCA).
5. THERE ARE NO FORESTED AREAS ON SITE.

DATA SOURCES

1. Existing topography and structures shown hereon outside of the limits of field run topography are from the Baltimore City Office of Technology - GIS Lab.
2. Existing topography from field run survey by Century Engineering Inc. dated Aug-Sept. 2020
3. Coordinates 4 elevations are referred to the Baltimore City Survey Control System and are tied to the following control stations:
35000 N 1963.820 E -9323.550 Elev. 301.060
35001 N 8240.140 E -9000.600 Elev. 324.640

4. Public utilities shown hereon are from public drawings, field location and other sources.

DATE	BY	REVISIONS

CENTURY
ENGINEERING

A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

GRADING PLAN 2

THE MARYLAND ZOO IN BALTIMORE PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 32574
EXPIRATION DATE: 1/16/2024

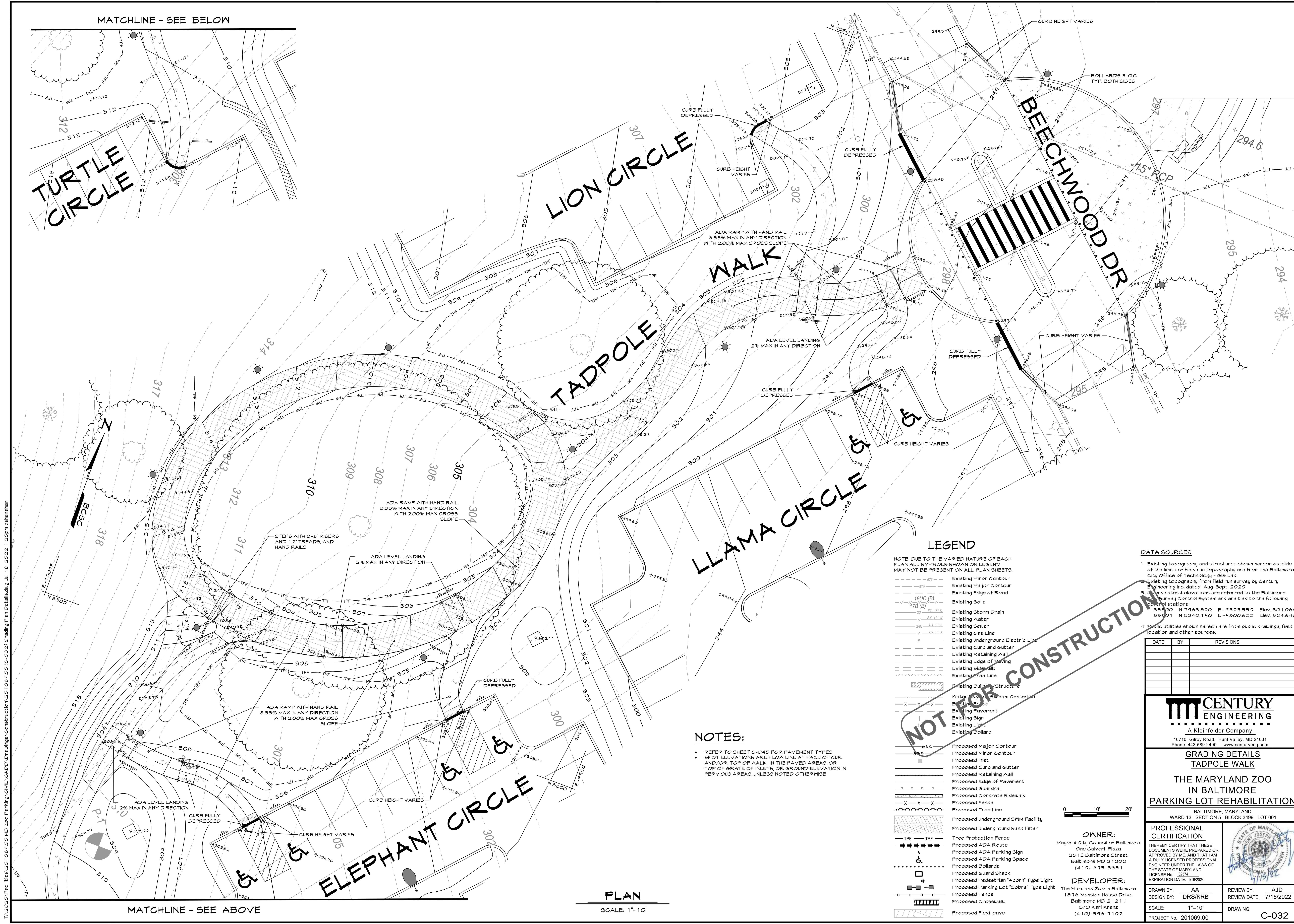


OWNER:
Mayor & City Council of Baltimore
One Calvert Plaza
201 E. Baltimore Street
Baltimore MD 21202
(410)-675-3651

DEVELOPER:
The Maryland Zoo in Baltimore
1876 Mansion House Drive
Baltimore MD 21217
C/O Karl Kranz
(410)-346-7102

DRAWN BY: AA	DESIGN BY: DRS/KRB	REVIEW BY: AJD
SCALE: 1"=30'	PROJECT No: 201069.00	DRAWING: C-031

ESD # 7969



MATCHLINE - SEE BELOW

MATCHLINE - SEE ABOVE

PLAN

SCALE: 1"=10'

LEGEND

NOTE: DUE TO THE VARIED NATURE OF EACH PLAN ALL SYMBOLS SHOWN ON LEGEND MAY NOT BE PRESENT ON ALL PLAN SHEETS.

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Soils
- Existing Storm Drain
- Existing Water
- Existing Sewer
- Existing Gas Line
- Existing Underground Electric Line
- Existing Curb and Gutter
- Existing Retaining Wall
- Existing Edge of Paving
- Existing Sidewalk
- Existing Tree Line
- Existing Building Structures
- Water Edge of Stream Centerline
- Existing Fence
- Existing Pavement
- Existing Sign
- Existing Light
- Existing Bollard

NOTES:

- REFER TO SHEET G-045 FOR PAVEMENT TYPES
- SPOT ELEVATIONS ARE FLOW LINE AT FACE OF CUR AND/OR, TOP OF WALK IN THE PAVED AREAS, OR TOP OF GRATE OF INLETS, OR GROUND ELEVATION IN PERVIOUS AREAS, UNLESS NOTED OTHERWISE

DATA SOURCES

- Existing topography and structures shown hereon outside of the limits of field run topography are from the Baltimore City Office of Technology - GIS Lab.
- Existing topography from field run survey by Century Engineering Inc. dated Aug-Sept. 2020
- Coordinates & elevations are referred to the Baltimore Survey Control System and are tied to the following control stations:
35000 N 1463.820 E -9323.550 Elev. 301.060
35001 N 8240.140 E -9000.600 Elev. 324.640
- Public utilities shown hereon are from public drawings, field location and other sources.

DATE	BY	REVISIONS



A Kleinfelder Company

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GRADING DETAILS

TADPOLE WALK

THE MARYLAND ZOO
IN BALTIMORE
PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL
CERTIFICATION

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LICENSE No.: 32574
EXPIRATION DATE: 1/16/2024



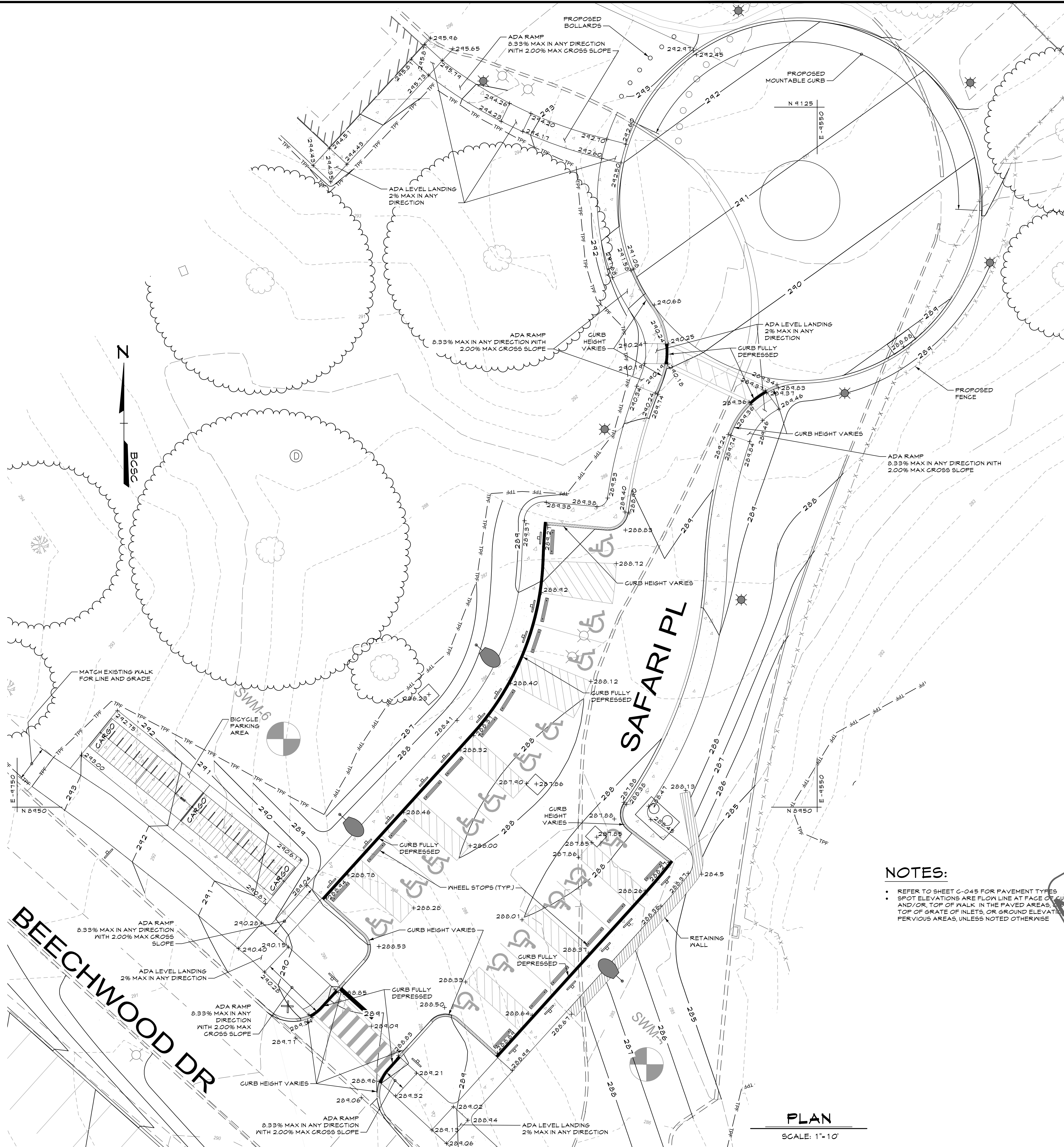
OWNER:
Mayor & City Council of Baltimore
One Calvert Plaza
201 E. Baltimore Street
Baltimore MD 21202
(410)-675-3651

DEVELOPER:
The Maryland Zoo in Baltimore
1876 Mansion House Drive
Baltimore MD 21211
C/O Karl Kranz
(410)-346-7102

DRAWN BY: AA	DESIGN BY: DRS/KRB	REVIEW BY: AJD
SCALE: 1"=10'	DRAWING: C-032	PROJECT No: 201069.00

ESD # 7969

T:\2020\Facilities\20106400 MD Zoo Parking\Drawings\Construction\20106400 (C-093) Grading Plan Details 2.dwg Jul 18, 2022 1:20pm dsharshan



LEGEND

NOTE: DUE TO THE VARIED NATURE OF EACH PLAN ALL SYMBOLS SHOWN ON LEGEND MAY NOT BE PRESENT ON ALL PLAN SHEETS.

---	Existing Minor Contour
---	Existing Major Contour
---	Existing Edge of Road
---	Existing Soils
---	Existing Storm Drain
---	Existing Water
---	Existing Sewer
---	Existing Gas Line
---	Existing Underground Electric Line
---	Existing Curb and Gutter
---	Existing Retaining Wall
---	Existing Edge of Paving
---	Existing Sidewalk
---	Existing Tree Line
---	Existing Building/Structure
---	Water Edge or Stream Centerline
---	Existing Fence
---	Existing Pavement
---	Existing Sign
---	Existing Light
---	Existing Bollard
---	Proposed Major Contour
---	Proposed Minor Contour
---	Proposed Inlet
---	Proposed Curb and Gutter
---	Proposed Retaining Wall
---	Proposed Edge of Pavement
---	Proposed Guardrail
---	Proposed Concrete Sidewalk
---	Proposed Tree Line
---	Proposed Underground SWM Facility
---	Proposed Underground Sand Filter
---	Tree Protection Fence
---	Proposed ADA Route
---	Proposed ADA Parking Sign
---	Proposed ADA Parking Space
---	Proposed Bollards
---	Proposed Guard Shack
---	Proposed Pedestrian "Acorn" Type Light
---	Proposed Parking Lot "Cobra" Type Light
---	Proposed Fence
---	Proposed Crosswalk

DATA SOURCES

- Existing topography and structures shown hereon outside of the limits of field run topography are from the Baltimore City Office of Technology - GIS Lab.
- Existing topography from field run survey by Century Engineering Inc. dated Aug-Sept. 2020
- Spot elevations 4 elevations are referred to the Baltimore City Survey Control System and are tied to the following control stations:
35000 N 1969.820 E -9323.550 Elev. 301.060
35001 N 8240.190 E -9800.600 Elev. 324.640
- Public utilities shown hereon are from public drawings, field location and other sources.

DATE	BY	REVISIONS

CENTURY
ENGINEERING

A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

GRADING DETAILS
SAFARI PLACE

THE MARYLAND ZOO
IN BALTIMORE
PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL
CERTIFICATION

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LICENSE No.: 33574
EXPIRATION DATE: 1/16/2024



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(410)-675-3651

DEVELOPER:
The Maryland Zoo in Baltimore
1876 Mansion House Drive
Baltimore MD 21217
C/O Karl Kranz
(410)-396-7102

DRAWN BY: AA	DESIGN BY: DRS/KRB	REVIEW BY: AJD
SCALE: 1"=10'	DRAWING: C-033	PROJECT No: 201069.00

NOTES:

- REFER TO SHEET C-045 FOR PAVEMENT TYPES
- SPOT ELEVATIONS ARE FLOW LINE AT FACE OF CURB AND/OR TOP OF WALK IN THE PAVED AREAS, TOP OF GRATE OF INLETS, OR GROUND ELEVATION IN PERVIOUS AREAS, UNLESS NOTED OTHERWISE

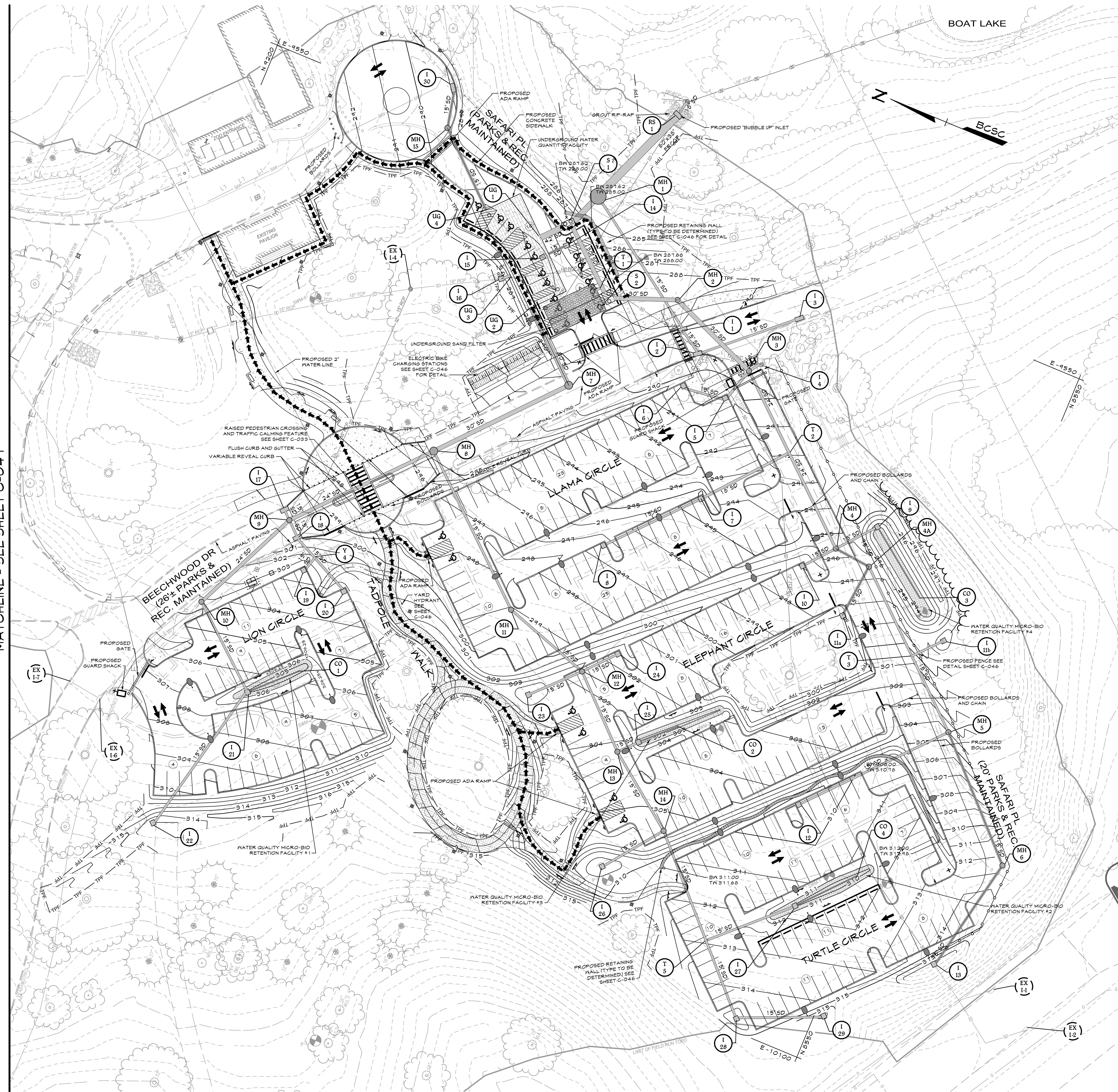
PLAN

SCALE: 1"=10'

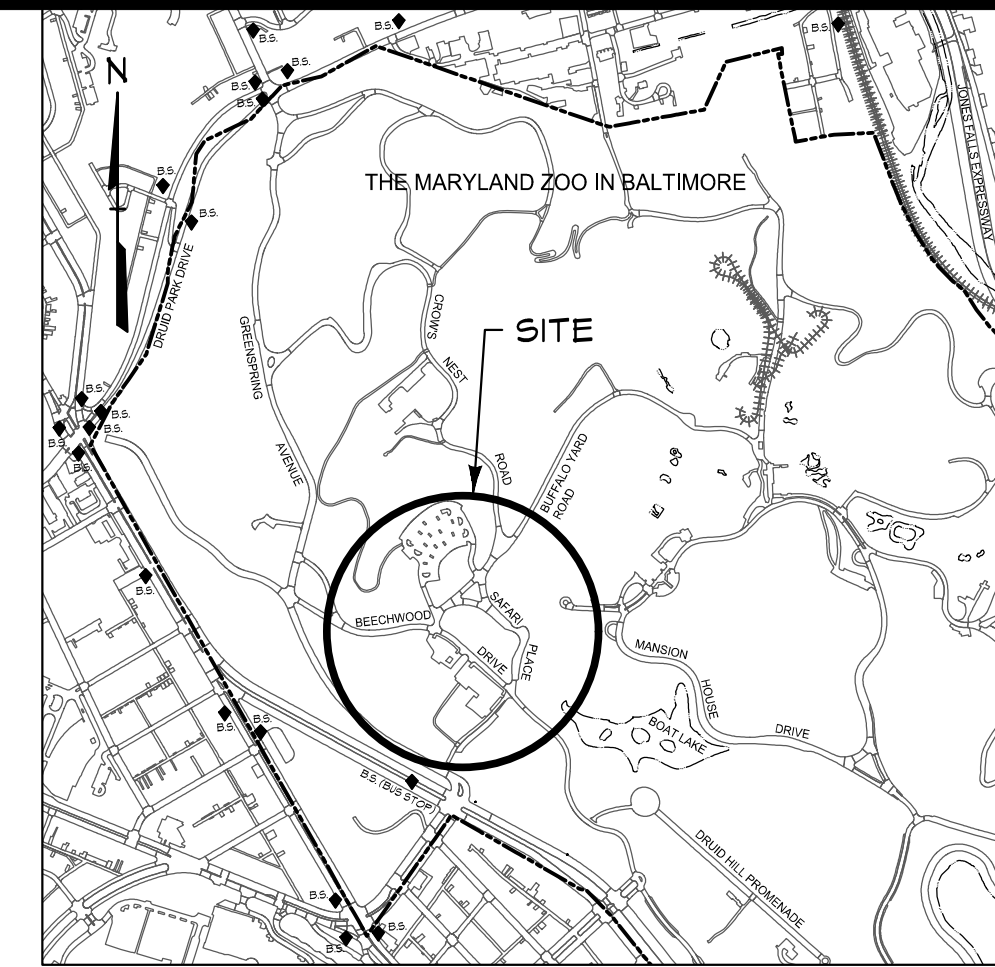
ESD # 7969

T:\2020\Facilities\20106400 MD Zoo Parking Construction\20106400 (C-040) Site and Utility Plan 1.dwg Jul 18, 2022 1:20pm dlatanian

MATCHLINE - SEE SHEET C-041



PLAN
SCALE: 1"=30'



VICINITY MAP
SCALE: 1"=1000'

LEGEND

NOTE: DUE TO THE VARIED NATURE OF EACH PLAN ALL SYMBOLS SHOWN ON LEGEND MAY NOT BE PRESENT ON ALL PLAN SHEETS.

---	678	Existing Minor Contour
---	679	Existing Major Contour
---	680	Existing Edge of Road
---	18UC (B)	Existing Soils
---	17B (B)	Existing Storm Drain
---	EX 12' D	Existing Water
---	EX 12' W	Existing Sewer
---	EX 8' S	Existing Gas Line
---	EX 8' G	Existing Underground Electric Line
---	---	Existing Curb and Gutter
---	---	Existing Retaining Wall
---	---	Existing Edge of Paving
---	---	Existing Sidewalk
---	---	Existing Tree Line
---	---	Existing Building/Structure
---	---	Water Edge or Stream Centerline
---	---	Existing Fence
---	---	Existing Pavement
---	---	Existing Sign
---	---	Existing Light
---	---	Existing Bollard
---	---	Proposed Major Contour
---	---	Proposed Minor Contour
---	---	Proposed Inlet
---	---	Proposed Curb and Gutter
---	---	Proposed Retaining Wall
---	---	Proposed Edge of Pavement
---	---	Proposed Guardrail
---	---	Proposed Concrete Sidewalk
---	---	Proposed Fence
---	---	Proposed Tree Line
---	---	Proposed Underground SWM Facility
---	---	Proposed Underground Sand Filter
---	---	Tree Protection Fence
---	---	Proposed ADA Route
---	---	Proposed ADA Parking Sign
---	---	Proposed ADA Parking Space
---	---	Proposed Bollards
---	---	Proposed Guard Shack
---	---	Proposed Pedestrian "Acorn" Type Light
---	---	Proposed Parking Lot "Cobra" Type Light
---	---	Proposed Crosswalk
---	---	Proposed Fence
---	---	Proposed Flexi-pave

NOTES:

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4. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA (CBCA).
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DATA SOURCES

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35001 N 8240.140 E -9800.600 Elev. 324.640
4. Public utilities shown hereon are from public drawings, field location and other sources.

NOTES:

- THIS PLAN REFLECTS FULL BUILD-OUT OF ALL PROPOSED PARKING LOTS.
- CONSTRUCTION (MCL PROCESS) PHASES DEPENDENT UPON FUNDING
- REFER TO LANDSCAPE PLANS OF SHEETS C-010 THROUGH C-012 FOR PROPOSED TREES AND PLANTINGS
- REFER TO SHEET C-045 FOR PAVEMENT TYPES

NOT FOR CONSTRUCTION

DATE	BY	REVISIONS

CENTURY
ENGINEERING

A Kleinfelder Company
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 www.centuryeng.com

SITE AND UTILITY PLAN 1

THE MARYLAND ZOO IN BALTIMORE PARKING LOT REHABILITATION

BALTIMORE, MARYLAND
WARD 13 SECTION 5 BLOCK 3499 LOT 001

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE No.: 32574 EXPIRATION DATE: 1/16/2024	
DRAWN BY: AA DESIGN BY: DRS/KRB SCALE: 1"=30' PROJECT No.: 201069.00	REVIEW BY: AJD REVIEW DATE: 7/15/2022 DRAWING: C-040

ESD # 7969